



HARTEL COMMERCIAL REAL ESTATE  
Falmouth ~ Quincy

*355 Wareham Street aka Rte 28  
Middleborough, MA*



# HARTEL COMMERCIAL REAL ESTATE

*Strategic Real Estate Services*

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## PROPERTY DETAILS

- \* LESS THAN 1 MILE FROM RTE 495 -  
BETWEEN EXITS 8 & 12 FKA EXITS 3 & 4
- \* THREE INDUSTRIAL BUILDINGS
- \* ONE NEW (2018) - 9,900± SF &
- \* ONE NEW (2019) - 7,424± SF
- \* REAR 1,320± SF RENOVATED (2019) GARAGE
- \* 3 BUILDINGS TOTALING 18,644± SF
- \* 1,680± SF EACH BAY FRONT BUILDING
- \* Propane Heaters for Units
- \* Units Have Floor Draining tied into  
Tight Tanks
- \* NEW UTILITIES, WELL WATER, ELECTRIC
- \* 2.37± ACRE SITE
- \* ZONED GU & SMALL REAR PORTION IN RR  
WRPD-WATER RESOURCE PROTECTION
- \* AREA OF COMPLIMENTARY INDUSTRIAL USES

**Offered at \$2,799,000**



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230 Jones Road  
Suite 6  
Falmouth MA 02540

40 Willard Street  
Suite 207  
Quincy MA 02169

Greg Hartel  
617-256-3169  
Greg@HartelRealty.com

Jody Shaw  
508-566-3556  
Jody@HartelRealty.com

Main Office  
508-444-0172  
www.HartelRealty.com



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## Satellite



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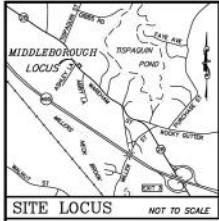
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**SITE LOCUS** NOT TO SCALE

**ZONING DISTRICT**  
GU - GENERAL USE  
WATER RESOURCE PROTECTION DISTRICT 23  
(MPO ZONE 3)

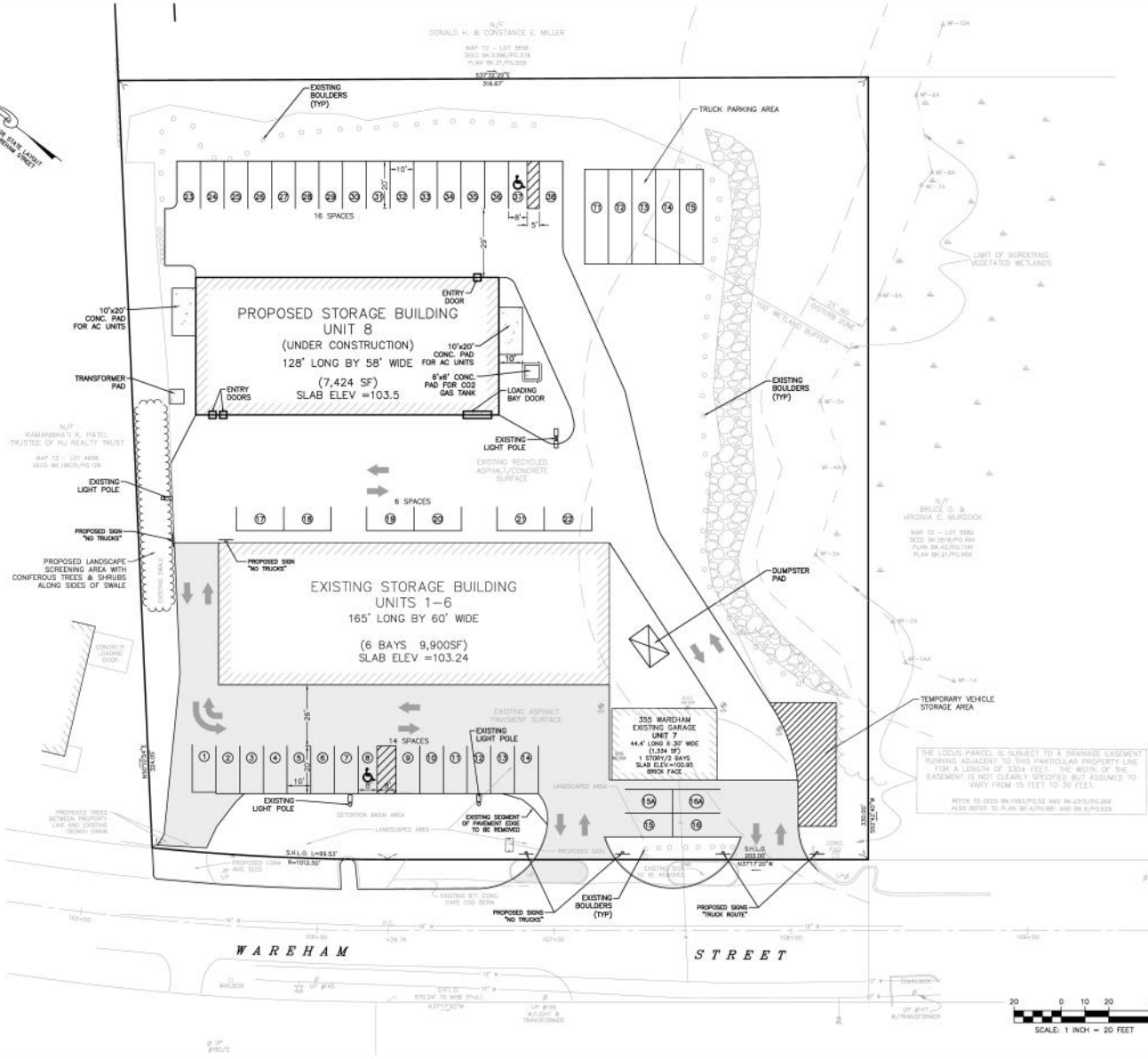
**NEED REQUIREMENTS**  
MAXIMUM SEPTO SYSTEM LENGTH: 150 SP/5,000 SF LOT AREA  
NATURAL VEGETATION AREA: 30% MINIMUM  
WETLANDS: 25' NO TOUCH

ZONING SUMMARY TABLE		
GU - GENERAL USE		
TOTAL SITE AREA=101,735.6 SF (2.344 ACRES)		
INTENSITY	REQUIRED	PROVIDED
MINIMUM LOT SIZE (SQUARE FEET)	20,000	101,735
MINIMUM LOT FRONTAGE (FEET)	75	302
MINIMUM FRONT YARD SETBACK (FEET)	30	33.5*
MINIMUM SIDE YARD SETBACK (FEET)	35	31
MINIMUM REAR YARD SETBACK (FEET)	25	185
MAXIMUM BUILDING HEIGHT (FEET)	42	SEE BUILDING PLANS
MINIMUM FRONT YARD LANDSCAPE BUFFER (FEET)	35	25
MINIMUM SIDE YARD LANDSCAPE BUFFER (FEET)	15	15
MINIMUM REAR YARD LANDSCAPE BUFFER (FEET)	15	315

\* PRE-EXISTING STRUCTURE IS NON-CONFORMING RELATING TO THE FRONT YARD SETBACK.

PARKING SPACE REQUIREMENTS		
USE	REQUIRED	PROVIDED
LIGHT MANUFACTURING	1 PER 800SF GROSS FLOOR AREA	7.424SF/800SF = 12.4 SPACES
WAREHOUSE	1 PER 1000SF GROSS FLOOR AREA	11.234SF/1000SF = 12 SPACES
TOTAL SPACES	25	38
HANDICAP ACCESSIBLE SPACES	1	2

ASSIGNED PARKING SCHEDULE	
PARKING SPACE #	UNIT
1-3, 17	UNIT 1
4, 5, 18	UNIT 2
6, 7, 19	UNIT 3
8, 10, 20	UNIT 4
11, 12, 21	UNIT 5
13, 14, 22	UNIT 6
15, 15A, 16, 16A	UNIT 7
23-28	UNIT 8



**SITE DESIGN ENGINEERING, LLC.**  
11 CLASHMAN STREET  
MIDDLEBOROUGH, MA 01848  
T: 508-967-0673 F: 508-967-0674  
WWW.SDE-LDEC.COM

NO.	DATE	DESCRIPTION	APPROVED

PLAN REVISIONS		
DATE	DESIGNED BY	CHECKED BY
SEPTEMBER 3, 2019	SJE/RT	DCM
PROJECT NO: 19021		
ISSUED FOR: APPROVAL		



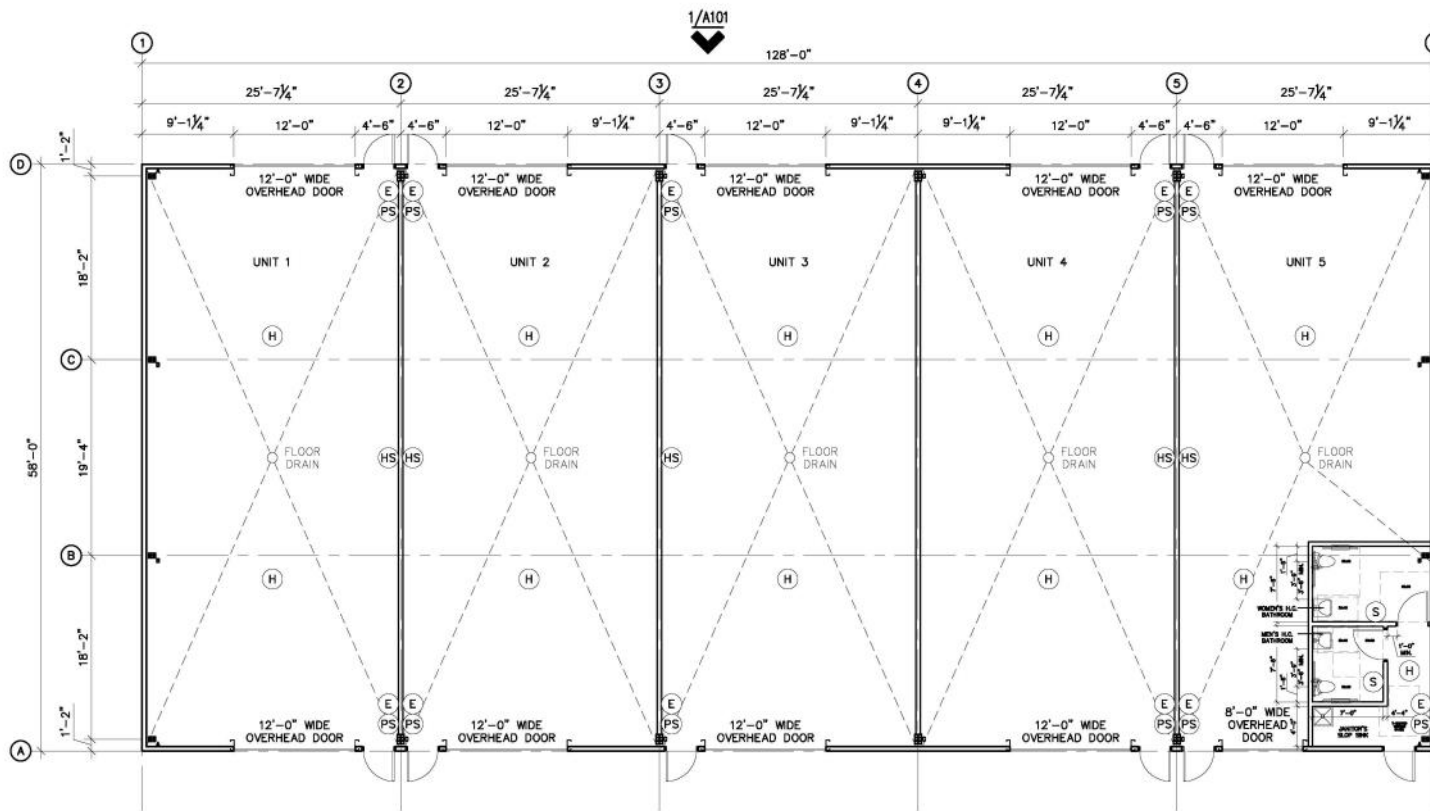
**PARKING SITE PLAN**  
355 WAREHAM STREET  
ASSESSOR'S MAP 72, PARCEL 5542  
MIDDLEBOROUGH, MASSACHUSETTS

PREPARED FOR EMERALD GROVE

DRAWING TITLE:	PARKING SITE PLAN
SCALE:	1" = 20'
SHEET NO:	1 OF 1

# Site Plan





FIRE ALARM LEGEND:	
(HS)	HORN STROBE
(S)	STROBE
(E)	EMERGENCY LIGHT
(PS)	PULL STATION
(H)	HEAT SENSOR

**TYP. CONSTRUCTION FOR ALL WALLS.**

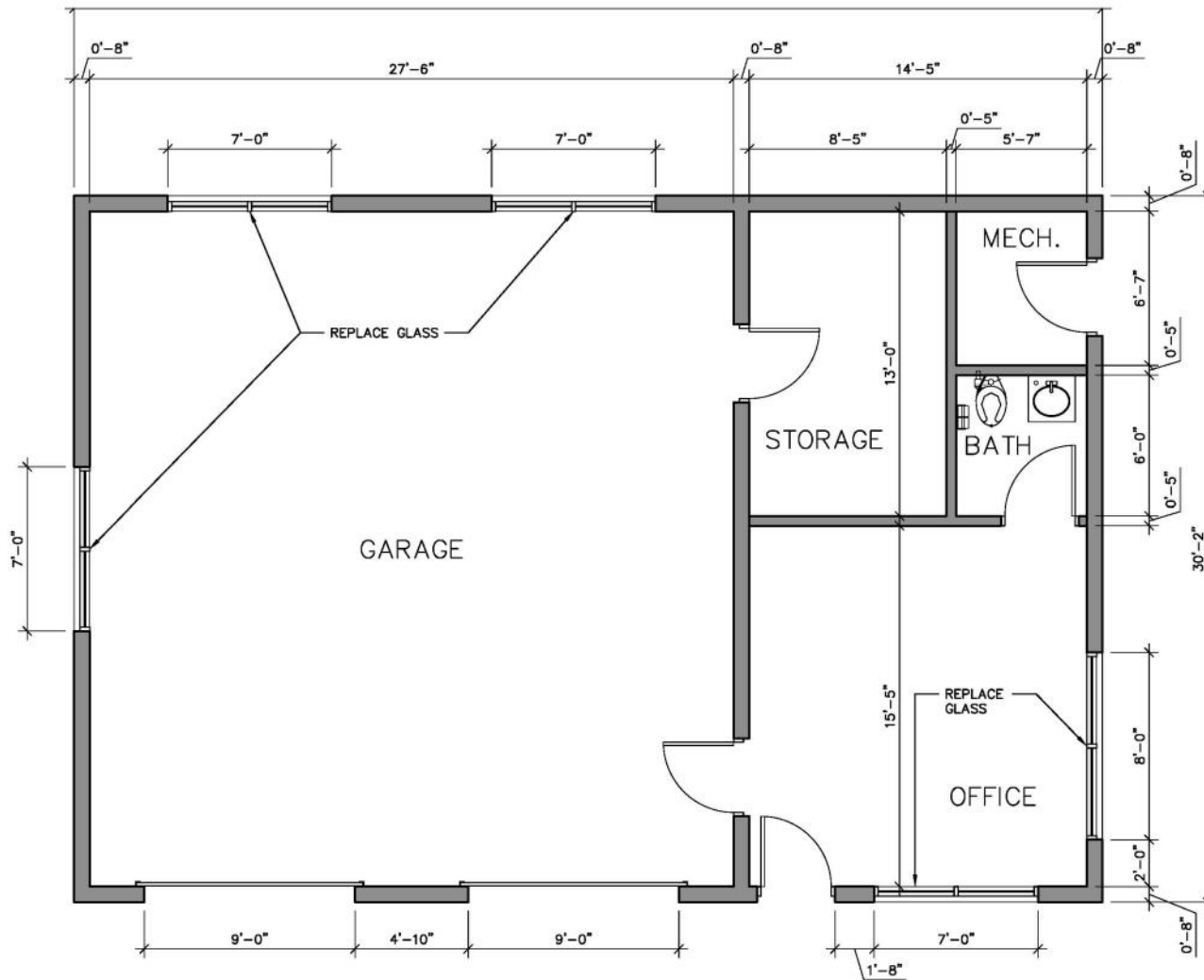
- 2x6 STUDS FILLED WITH BATT INSULATION
- BOTTOM PLATE P.T.
- 5/8" FIRECODE CORE 1-LAYER EACH SIDE, TYP.

PER TABLE 1004.1.2 MAXIMUM FLOOR AREA ALLOWANCES PER OCCUPANT. WAREHOUSE IS EQUAL TO 500 GROSS. 7500 FT.<sup>2</sup> DIVIDED BY 500 FT.<sup>2</sup> / PERSON = 15 PEOPLE.

PER 248 CMR TABLE 1: MINIMUM FACILITIES FOR BUILDING OCCUPANCY. PER REQUIREMENTS FOR EMPLOYEE NON-INDUSTRIAL, WE NEED TO PROVIDE ONE TOILET + LAVATORY FOR MEN AND ONE TOILET + LAVATORY FOR WOMEN AS WELL AS ONE SERVICE SINK.

1 SCALE: 1/8"=1'-0"

# Floorplan - Rear Building



2

SCALE: 1/4"=1'-0"

## Floorplan - Garage







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## Zoning



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