



HARTEL COMMERCIAL REAL ESTATE  
Falmouth ~ Quincy

*355 Wareham Street aka Rte 28*

*Unit 10*

*Middleborough, MA*



## PROPERTY DETAILS

- \* LESS THAN 1 MILE FROM RTE 495 -  
BETWEEN EXITS 8 & 12 FKA EXITS 3 & 4
- \* THREE INDUSTRIAL BUILDINGS
- \* **ONE 1,680± SF BAY - OFFICE - COMMON BATH**
- \* TWO 14 X 14 OVERHEAD DOORS -DRIVE THRU
- \* 2 PARKING SPACES INCLUDED IN EACH UNIT
- \* Propane Heaters for Units
- \* Units Have Floor Draining tied into  
Tight Tanks
  
- \* **ONE 1,680± SF UNIT**  
**AVAILABLE FOR SALE**
- \* 2.37± ACRE SITE
- \* ZONED GU & SMALL REAR PORTION IN RR  
WRPD-WATER RESOURCE PROTECTION
- \* AREA OF COMPLIMENTARY INDUSTRIAL USES

**FOR SALE: \$239,000**

**Unit 10 - 1,680± SF**

**Available Now**





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*Strategic Real Estate Services*



## Satellite



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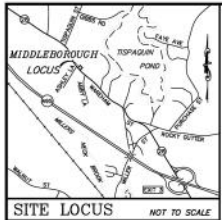
230 Jones Road  
Suite 6  
Falmouth MA 02540

40 Willard Street  
Suite 207  
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**ZONING DISTRICT**  
GU - GENERAL USE  
WATER RESOURCE PROTECTION DISTRICT 23  
(MPD ZONE 3)

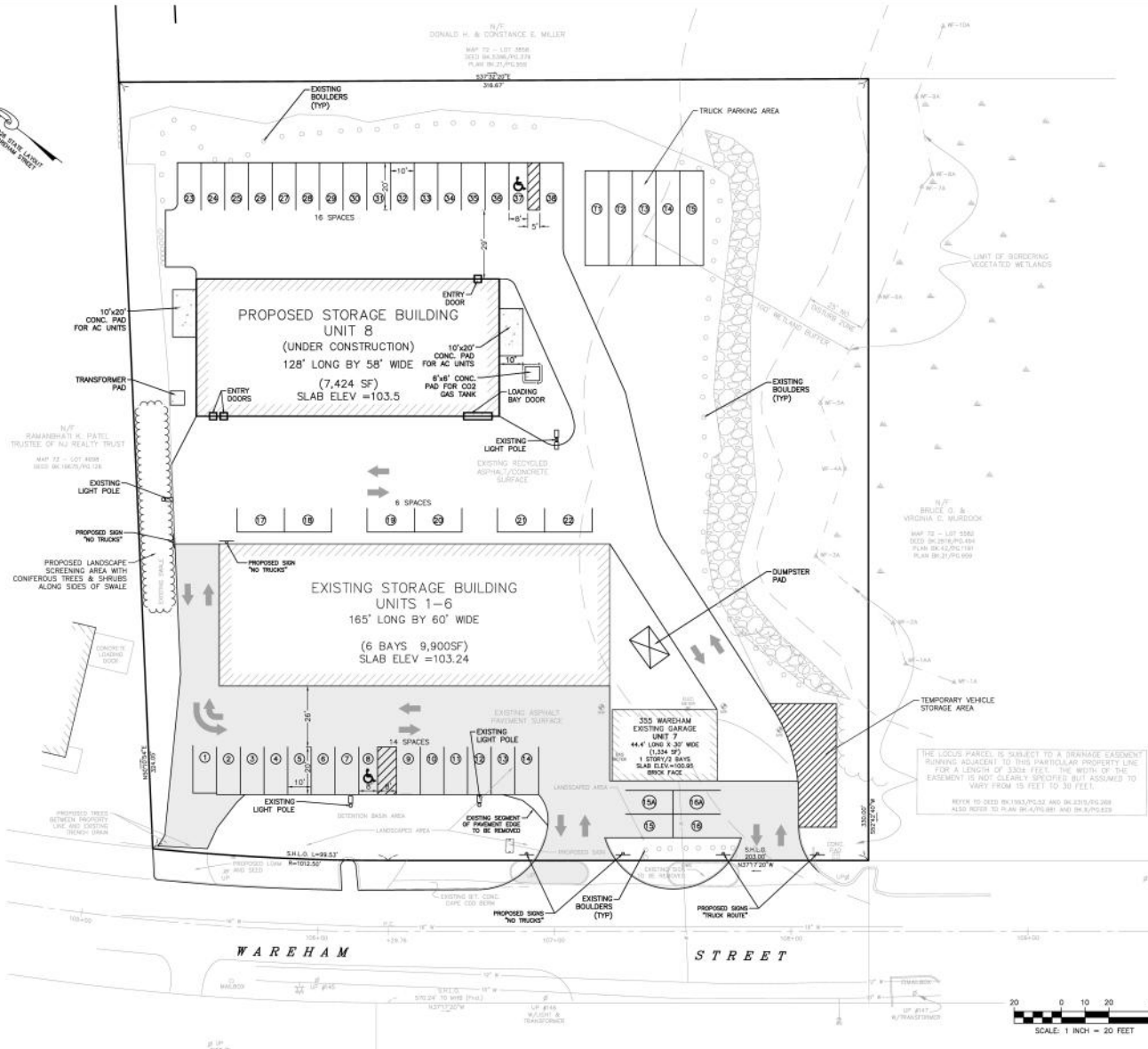
**MIN. REQUIREMENTS**  
MAXIMUM SEPTO SYSTEM LOADING: 1 TO 1000/5,000 SF LOT AREA  
NATURAL VEGETATION AREA: 20% MINIMUM  
RETAINING: 22' NO TOUCH

ZONING SUMMARY TABLE GU - GENERAL USE		
INTENSITY	REQUIRED	PROVIDED
TOTAL SITE AREA=101,735.8 SF (2.344 ACRES)		
MINIMUM LOT SIZE (SQUARE FEET)	30,000	101,735
MINIMUM LOT FRONTAGE (FEET)	75	302
MINIMUM FRONT YARD SETBACK (FEET)	35	33.5*
MINIMUM SIDE YARD SETBACK (FEET)	35	35
MINIMUM REAR YARD SETBACK (FEET)	25	185
MAXIMUM BUILDING HEIGHT (FEET)	42	SEE BUILDING PLANS
MINIMUM FRONT YARD LANDSCAPE BUFFER (FEET)	35	25
MINIMUM SIDE YARD LANDSCAPE BUFFER (FEET)	15	15
MINIMUM REAR YARD LANDSCAPE BUFFER (FEET)	15	37.5

\* PRE-EXISTING STRUCTURE IS NON-COMPLYING RELATING TO THE FRONT YARD SETBACK.

PARKING SPACE REQUIREMENTS			
USE	REQUIRED	PROVIDED	COMMENTS
LIGHT MANUFACTURING	1 PER 800SF GROSS FLOOR AREA	7,424 SF / 800 SF = 12.4	
SPACES	13	13	
WAREHOUSE	1 PER 1000SF GROSS FLOOR AREA	11,234 SF / 1000 SF = 11.2	
SPACES	12	12	
TOTAL SPACES	25	25	
HANDICAP ACCESSIBLE SPACES	1	2	

ASSIGNED PARKING SCHEDULE		
PARKING SPACE #	UNIT	ASSIGNMENT
1-3, 17	UNIT 1	
4, 5, 18	UNIT 2	
6, 7, 19	UNIT 3	
8, 10, 20	UNIT 4	
11, 12, 21	UNIT 5	
13-15, 16, 18A, 22	UNIT 6	
15, 15A, 16, 16A, 22	UNIT 7	
23-25	UNIT 8	



PLAN REVISIONS			
NO.	DATE	DESCRIPTION	APPROVED

DATE: SEPTEMBER 3, 2010

DRAWN BY: SUE/RT    DESIGN BY: SUE/RT    CHECK BY: DCM

PROJECT NO: 19021

ISSUED FOR: APPROVAL



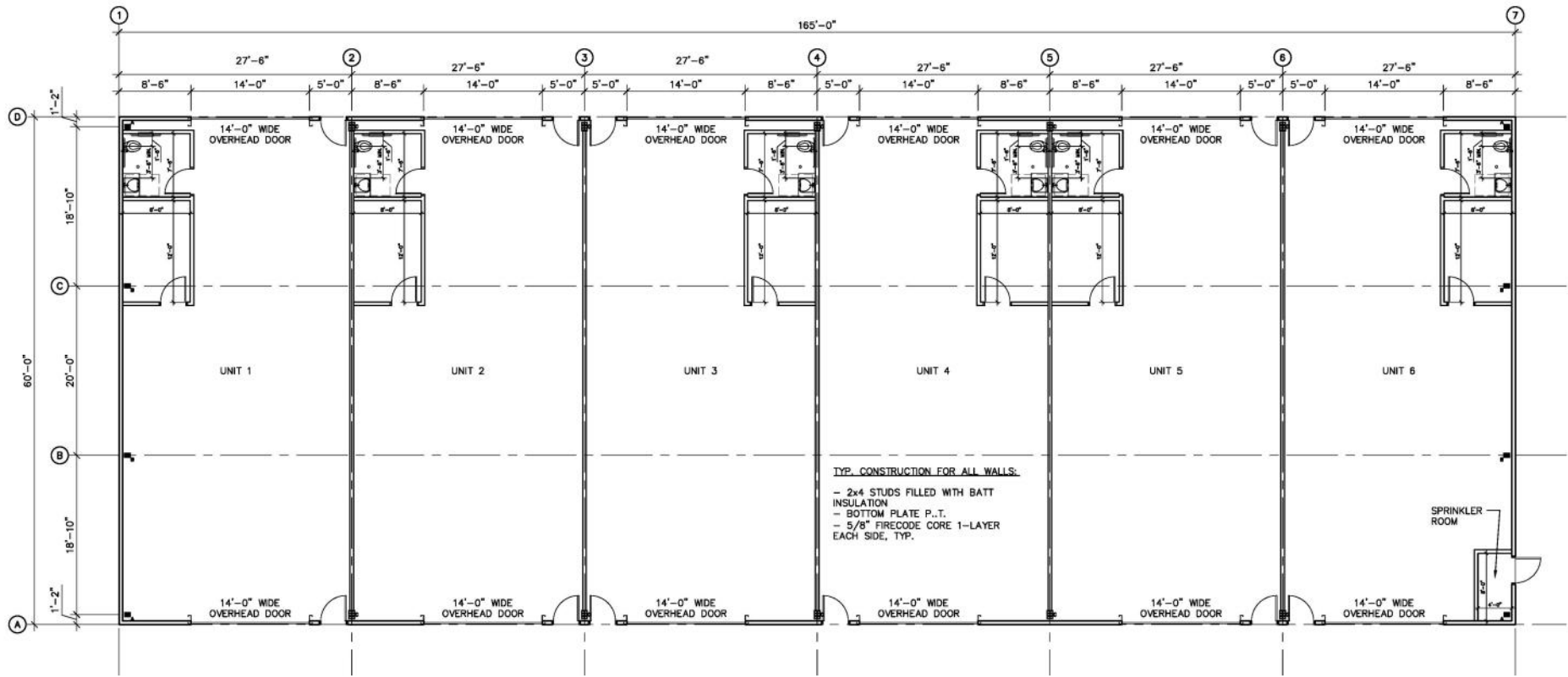
**PARKING SITE PLAN**

355 WAREHAM STREET  
ASSESSOR'S MAP 72, PARCEL 5542  
MIDDLEBOROUGH, MASSACHUSETTS

PREPARED FOR: EMERALD GROVE

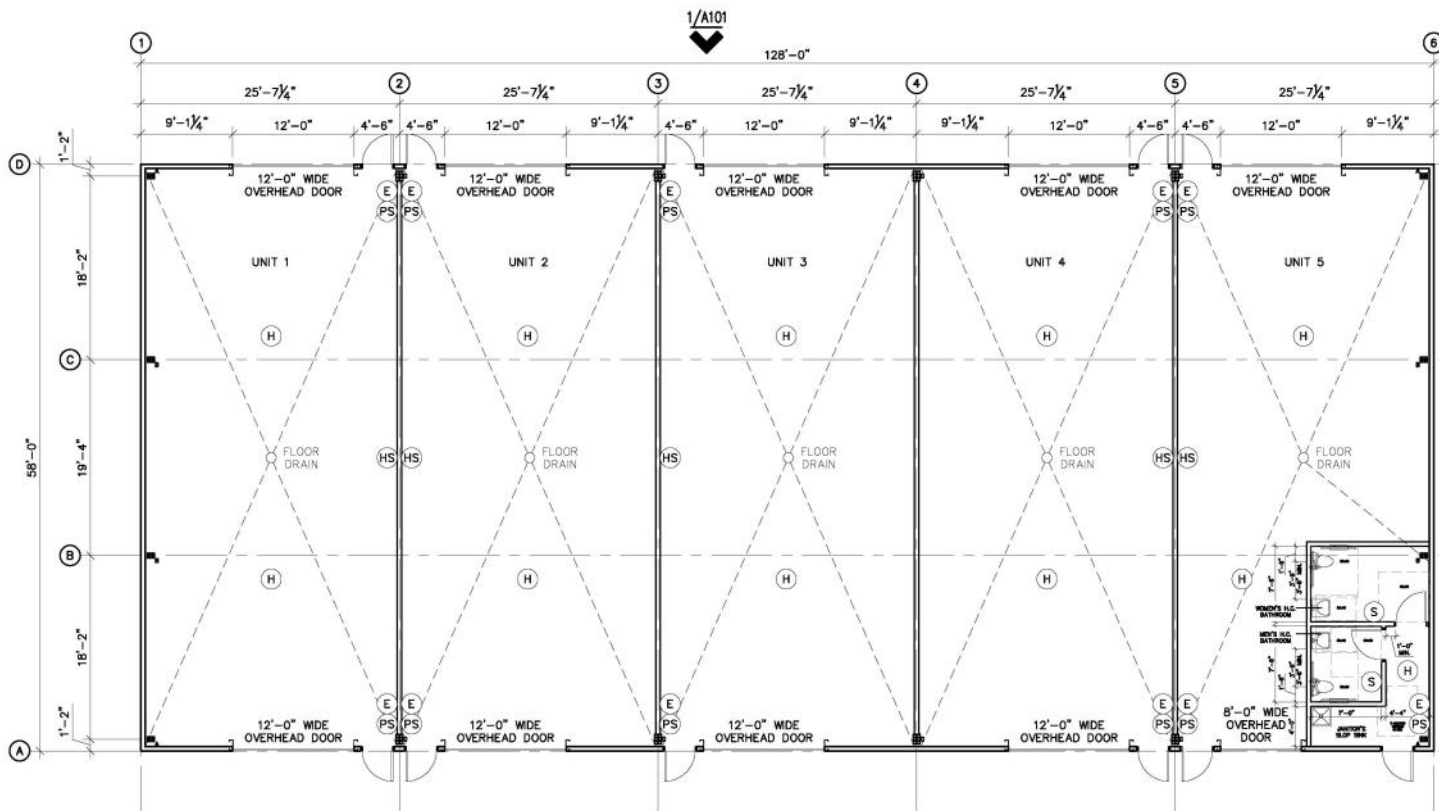
DRAWING TITLE:	PARKING SITE PLAN
SCALE:	1" = 20'
SHEET NO:	1 OF 1

# Site Plan



1 SCALE: 1/8"=1'-0"

## Floorplan - 6 Bays



FIRE ALARM LEGEND:	
(HS)	HORN STROBE
(S)	STROBE
(E)	EMERGENCY LIGHT
(PS)	PULL STATION
(H)	HEAT SENSOR

**TYP. CONSTRUCTION FOR ALL WALLS.**

- 2x6 STUDS FILLED WITH BATT INSULATION
- BOTTOM PLATE P.T.
- 5/8" FIRECODE CORE 1-LAYER EACH SIDE, TYP.

PER TABLE 1004.1.2 MAXIMUM FLOOR AREA ALLOWANCES PER OCCUPANT. WAREHOUSE IS EQUAL TO 500 GROSS. 7500 FT.<sup>2</sup> DIVIDED BY 500 FT.<sup>2</sup> / PERSON = 15 PEOPLE.

PER 248 CMR TABLE 1: MINIMUM FACILITIES FOR BUILDING OCCUPANCY. PER REQUIREMENTS FOR EMPLOYEE NON-INDUSTRIAL, WE NEED TO PROVIDE ONE TOILET + LAVATORY FOR MEN AND ONE TOILET + LAVATORY FOR WOMEN AS WELL AS ONE SERVICE SINK.

1 SCALE: 1/8"=1'-0"

# Floorplan - Rear Building



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## Assessor



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## Zoning



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