



HARTEL COMMERCIAL REAL ESTATE
Falmouth ~ Quincy

*355 Wareham Street aka Rte 28
Middleborough, MA*



HARTEL COMMERCIAL REAL ESTATE

Strategic Real Estate Services

PROPERTY DETAILS

- * LESS THAN 1 MILE FROM RTE 495 -
BETWEEN EXITS 8 & 12 FKA EXITS 3 & 4
- * THREE INDUSTRIAL BUILDINGS
- * ONE NEW (2018) - 9,900± SF &
- * ONE NEW (2019) - 7,424± SF
- * REAR 1,320± SF RENOVATED (2019) GARAGE
- * 3 BUILDINGS TOTALING 18,644± SF
- * 1,680± SF EACH BAY FRONT BUILDING
- * Propane Heaters for Units
- * Units Have Floor Draining tied into
Tight Tanks
- * NEW UTILITIES, WELL WATER, ELECTRIC
- * 2.37± ACRE SITE
- * ZONED GU & SMALL REAR PORTION IN RR
WRPD-WATER RESOURCE PROTECTION
- * AREA OF COMPLIMENTARY INDUSTRIAL USES

Offered at \$2,599,000



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230 Jones Road
Suite 6
Falmouth MA 02540

40 Willard Street
Suite 207
Quincy MA 02169

Greg Hartel
617-256-3169
Greg@HartelRealty.com

Jody Shaw
508-566-3556
Jody@HartelRealty.com

Main Office
508-444-0172
www.HartelRealty.com



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Satellite



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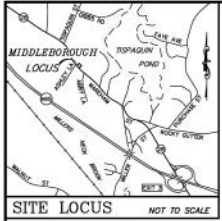
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ZONING DISTRICT
GU - GENERAL USE
WATER RESOURCE PROTECTION DISTRICT 23
(MPO ZONE 3)

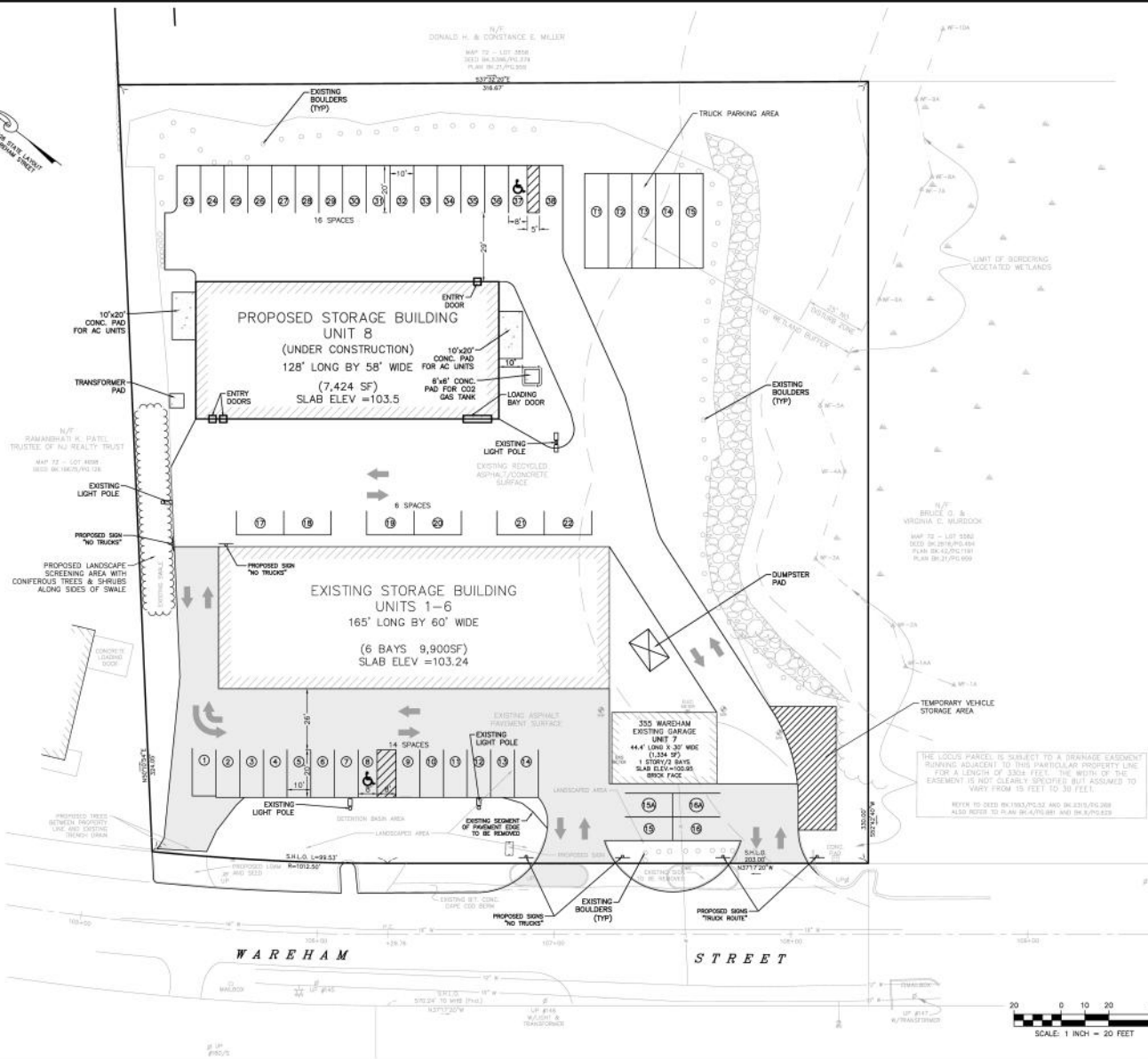
DEVELOPER REQUIREMENTS
MAXIMUM SEPTIC SYSTEM LOADING TO GPS/5,000 SF LOT AREA
NATURAL VEGETATION AREA: 30% MINIMUM
WETLANDS: 25% NO TOUCH

ZONING SUMMARY TABLE GENERAL USE		
TOTAL SITE AREA=101,735.6 SF (2.34 ACRES)		
INTENSITY	REQUIRED	PROVIDED
MINIMUM LOT SIZE (SQUARE FEET)	20,000	101,736
MINIMUM LOT FRONTAGE (FEET)	75	302
MINIMUM FRONT YARD SETBACK (FEET)	20	33.5*
MINIMUM SIDE YARD SETBACK (FEET)	25	31
MINIMUM REAR YARD SETBACK (FEET)	25	185
MAXIMUM BUILDING HEIGHT (FEET)	42	SEE BUILDING PLANS
MINIMUM FRONT YARD LANDSCAPE BUFFER (FEET)	25	25
MINIMUM SIDE YARD LANDSCAPE BUFFER (FEET)	15	15
MINIMUM REAR YARD LANDSCAPE BUFFER (FEET)	15	315

* PRE-EXISTING STRUCTURE IS NON-CONFORMING RELATING TO THE FRONT YARD SETBACK.

PARKING SPACE REQUIREMENTS		
USE	REQUIRED	PROVIDED
LIGHT MANUFACTURING	1 PER 800SF GROSS FLOOR AREA	7,424SF / 800SF = 12.4
SPACES	13	13
WAREHOUSE	1 PER 1000SF GROSS FLOOR AREA	11,234SF / 1000SF = 11.2
SPACES	12	12
TOTAL SPACES	25	25
HANDICAP ACCESSIBLE SPACES	1	2

ASSIGNED PARKING SCHEDULE	
PARKING SPACE #	UNIT
1-3, 17	UNIT 1
4, 5, 18	UNIT 2
6, 7, 19	UNIT 3
8, 10, 20	UNIT 4
11, 12, 21	UNIT 5
13-15, 16, 18A, 22	UNIT 6
15, 15A, 16, 16A, 22	UNIT 7
23-28	UNIT 8



SITE DESIGN ENGINEERING, LLC.
11 CUSHMAN STREET
MIDDLEBOROUGH, MA 01866
T: 508-967-0673 F: 508-967-0674
WWW.SDE-LDEC.COM

NO.	DATE	DESCRIPTION

DATE	SEPTEMBER 3, 2019
DRAWN BY	SJE/JRT
DESIGN BY	DCM
CHECK BY	DCM
PROJECT NO.	19021



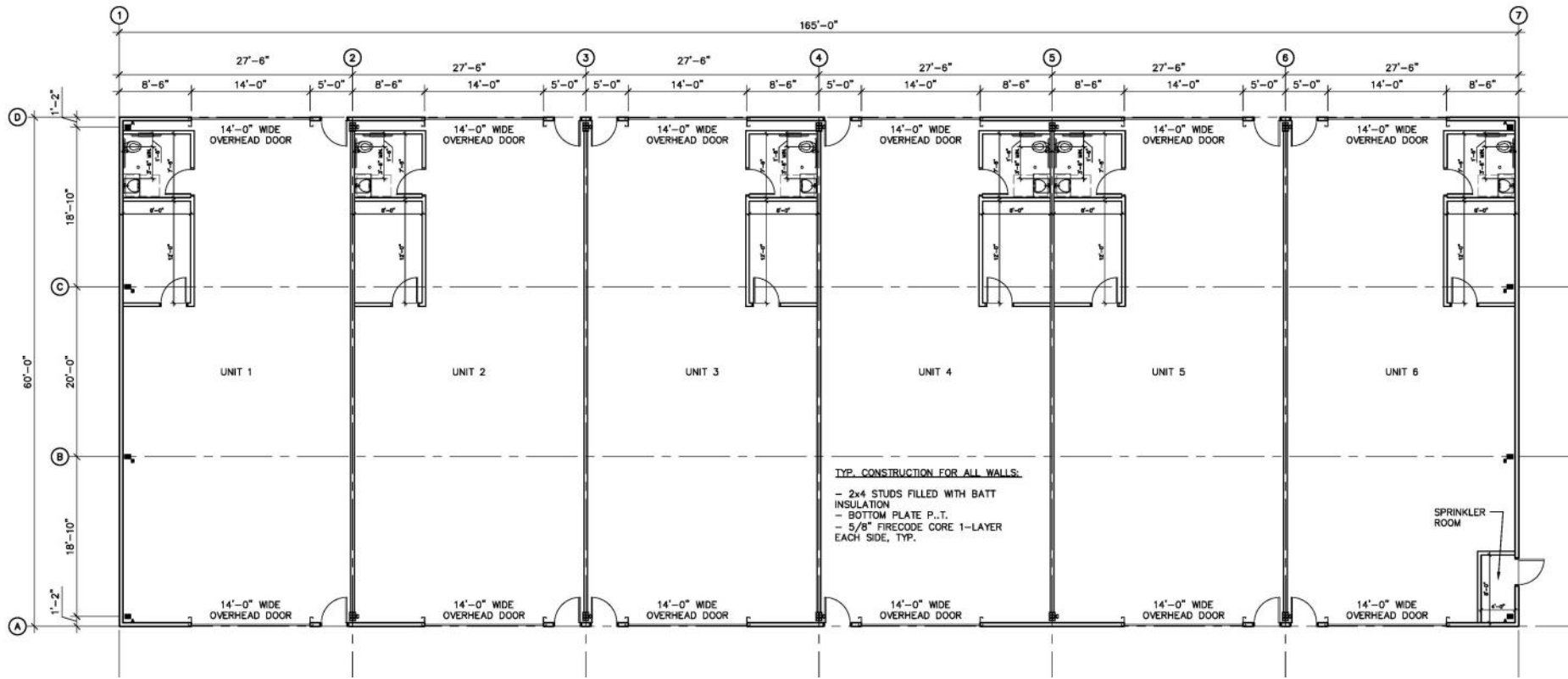
PARKING SITE PLAN
355 WAREHAM STREET
ASSESSOR'S MAP 72, PARCEL 5542
MIDDLEBOROUGH, MASSACHUSETTS
PREPARED FOR EMERALD GROVE

DRAWING TITLE: **PARKING SITE PLAN**

SCALE: **1" = 20'**

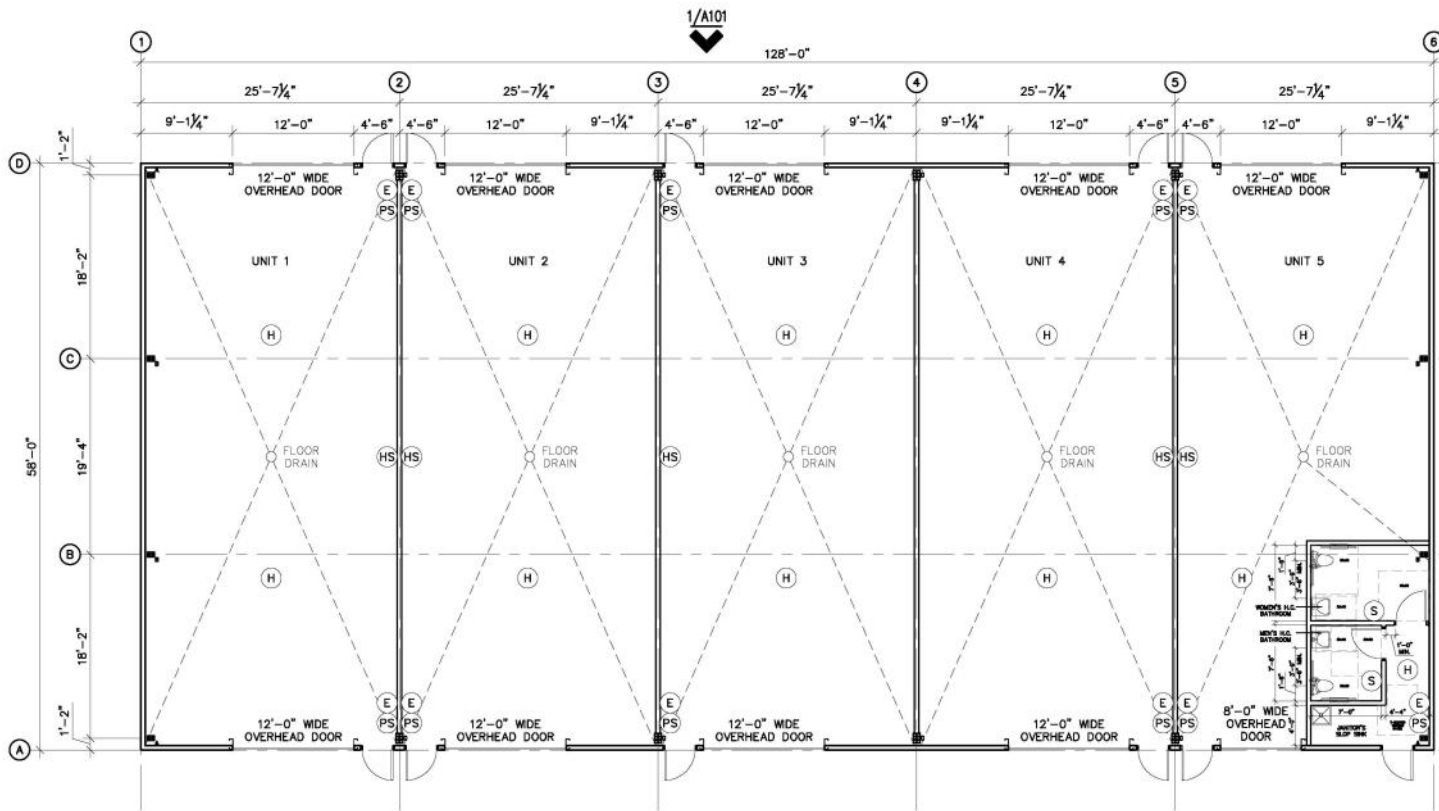
SHEET NO: **1 OF 1**

Site Plan



1 SCALE: 1/8"=1'-0"

Floorplan - 6 Bays



FIRE ALARM LEGEND:	
(HS)	HORN STROBE
(S)	STROBE
(E)	EMERGENCY LIGHT
(PS)	PULL STATION
(H)	HEAT SENSOR

TYP. CONSTRUCTION FOR ALL WALLS:

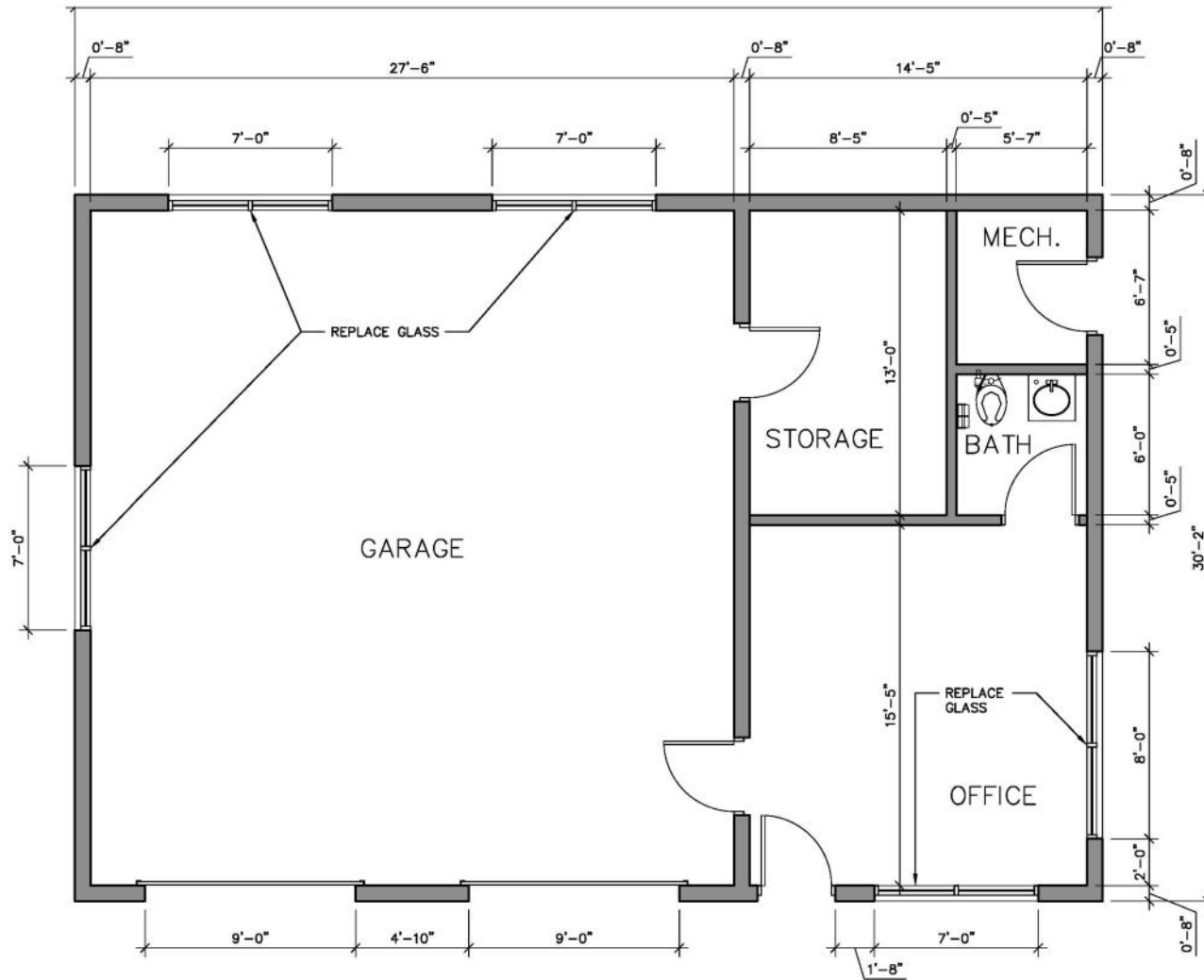
- 2x6 STUDS FILLED WITH BATT INSULATION
- BOTTOM PLATE P.T.
- 5/8" FIRECODE CORE 1-LAYER EACH SIDE, TYP.

PER TABLE 1004.1.2 MAXIMUM FLOOR AREA ALLOWANCES PER OCCUPANT. WAREHOUSE IS EQUAL TO 500 GROSS. 7500 FT.² DIVIDED BY 500 FT.² / PERSON = 15 PEOPLE.

PER 248 CMR TABLE 1: MINIMUM FACILITIES FOR BUILDING OCCUPANCY. PER REQUIREMENTS FOR EMPLOYEE NON-INDUSTRIAL, WE NEED TO PROVIDE ONE TOILET + LAVATORY FOR MEN AND ONE TOILET + LAVATORY FOR WOMEN AS WELL AS ONE SERVICE SINK.

1 SCALE: 1/8"=1'-0"

Floorplan - Rear Building



2 SCALE: 1/4"=1'-0"

Floorplan - Garage



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Assessor



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Zoning



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