



HARTEL COMMERCIAL REAL ESTATE
Falmouth ~ Quincy

*355 Wareham Street aka Rte 28
Middleborough, MA*



HARTEL COMMERCIAL REAL ESTATE

Strategic Real Estate Services

PROPERTY DETAILS

- * LESS THAN 1 MILE FROM RTE 495 -
BETWEEN EXITS 8 & 12 FKA EXITS 3 & 4
- * THREE INDUSTRIAL BUILDINGS
- * ONE NEW (2018) - 9,900± SF &
- * ONE NEW (2019) - 7,424± SF
- * REAR 1,320± SF RENOVATED (2019) GARAGE
- * 3 BUILDINGS TOTALING 18,644± SF
- * 1,656± SF EACH BAY FRONT BUILDING
- * Propane Heaters for Units
- * Units Have Floor Draining tied into
Tight Tanks
- * NEW UTILITIES, WELL WATER, ELECTRIC
- * 100% OCCUPIED - MONTHLY INCOME \$19,100
- * 2.37± ACRE SITE
- * ZONED GU & SMALL REAR PORTION IN RR
WRPD-WATER RESOURCE PROTECTION
- * FY 2022 Tax Assessed: \$23,034 Annual
- * AREA OF COMPLIMENTARY INDUSTRIAL USES

NEW PRICE: \$3,149,000



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230 Jones Road
Suite 6
Falmouth MA 02540

40 Willard Street
Suite 207
Quincy MA 02169

Greg Hartel
617-256-3169
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508-566-3556
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Main Office
508-444-0172
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Satellite



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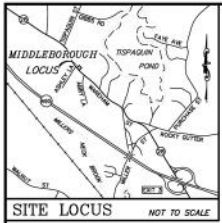
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ZONING DISTRICT
GU - GENERAL USE
WATER RESOURCE PROTECTION DISTRICT 23
(WPRO ZONE 3)

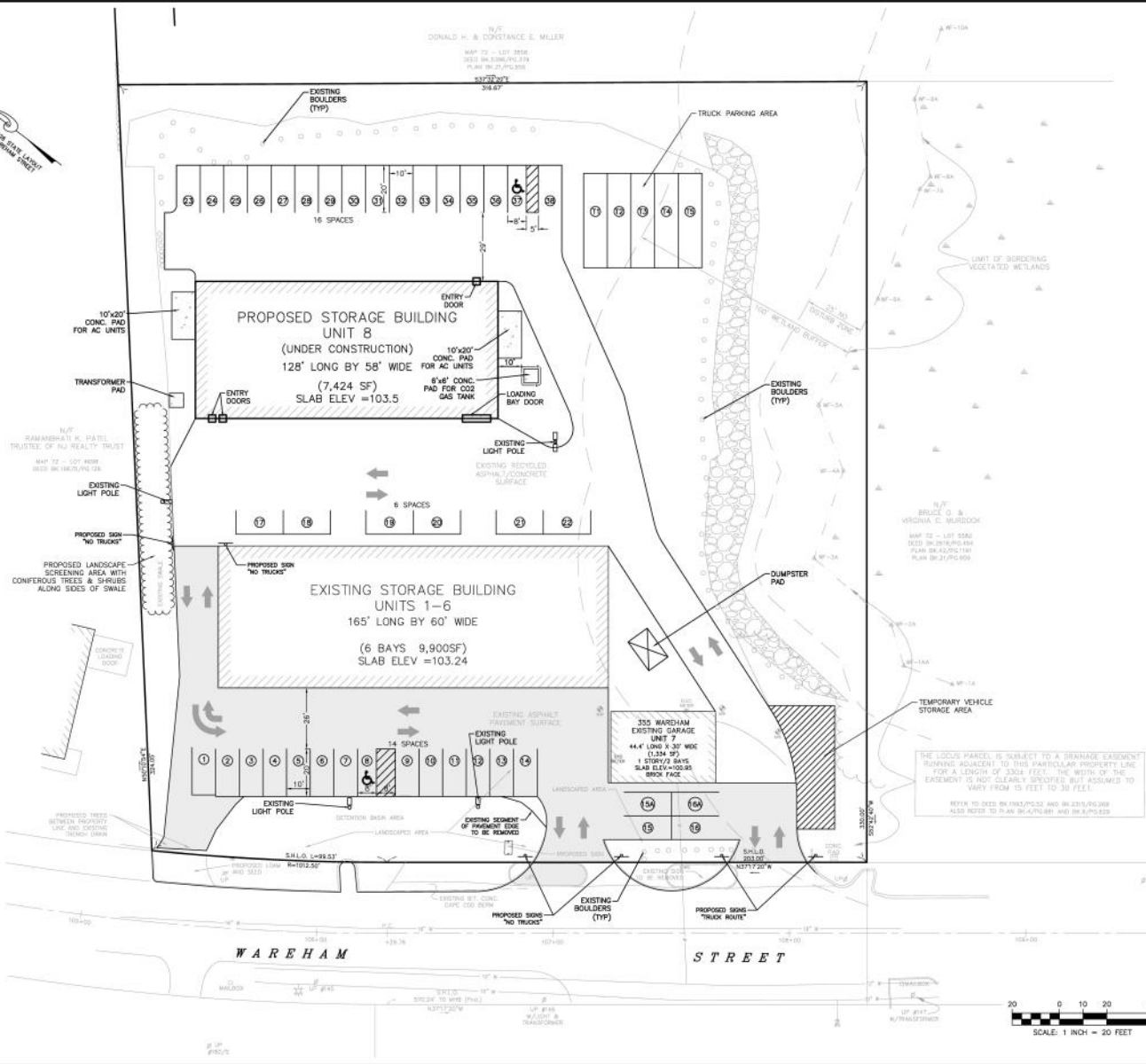
NEED REQUIREMENTS
MAXIMUM SEPTO SYSTEM LADING: 150 SP/5,000 SF LOT AREA
NATURAL VEGETATION AREA: 30% MINIMUM
WETLANDS: 25% NO TOUCH

INTENSITY	REQUIRED	PROVIDED
TOTAL SITE AREA	101,735.6 SF (2.34 ACRES)	
MINIMUM LOT SIZE (SQUARE FEET)	20,000	101,735
MINIMUM LOT FRONTAGE (FEET)	75	302
MINIMUM FRONT YARD SETBACK (FEET)	35	33.5*
MINIMUM SIDE YARD SETBACK (FEET)	35	35
MINIMUM REAR YARD SETBACK (FEET)	25	185
MAXIMUM BUILDING HEIGHT (FEET)	42	SEE BUILDING PLANS
MINIMUM FRONT YARD LANDSCAPE BUFFER (FEET)	35	25
MINIMUM SIDE YARD LANDSCAPE BUFFER (FEET)	15	15
MINIMUM REAR YARD LANDSCAPE BUFFER (FEET)	15	315

* PRE-EXISTING STRUCTURE IS NON-COMFORMING RELATING TO THE FRONT YARD SETBACK.

USE	REQUIRED	PROVIDED
LIGHT MANUFACTURING	1 PER 800SF GROSS FLOOR AREA	7,424SF / 800SF = 12.4 SPACES
WAREHOUSE	1 PER 1000SF GROSS FLOOR AREA	11,234SF / 1000SF = 11.2 SPACES
TOTAL SPACES	25	23
HANDICAP ACCESSIBLE SPACES	1	2

PARKING SPACE #	UNIT
1-3, 17	UNIT 1
4, 5, 18	UNIT 2
6, 7, 19	UNIT 3
8, 10, 20	UNIT 4
11, 12, 21	UNIT 5
13, 14, 22	UNIT 6
15, 15A, 16, 16A	UNIT 7
23-28	UNIT 8



NO.	DATE	DESCRIPTION	APPROVED

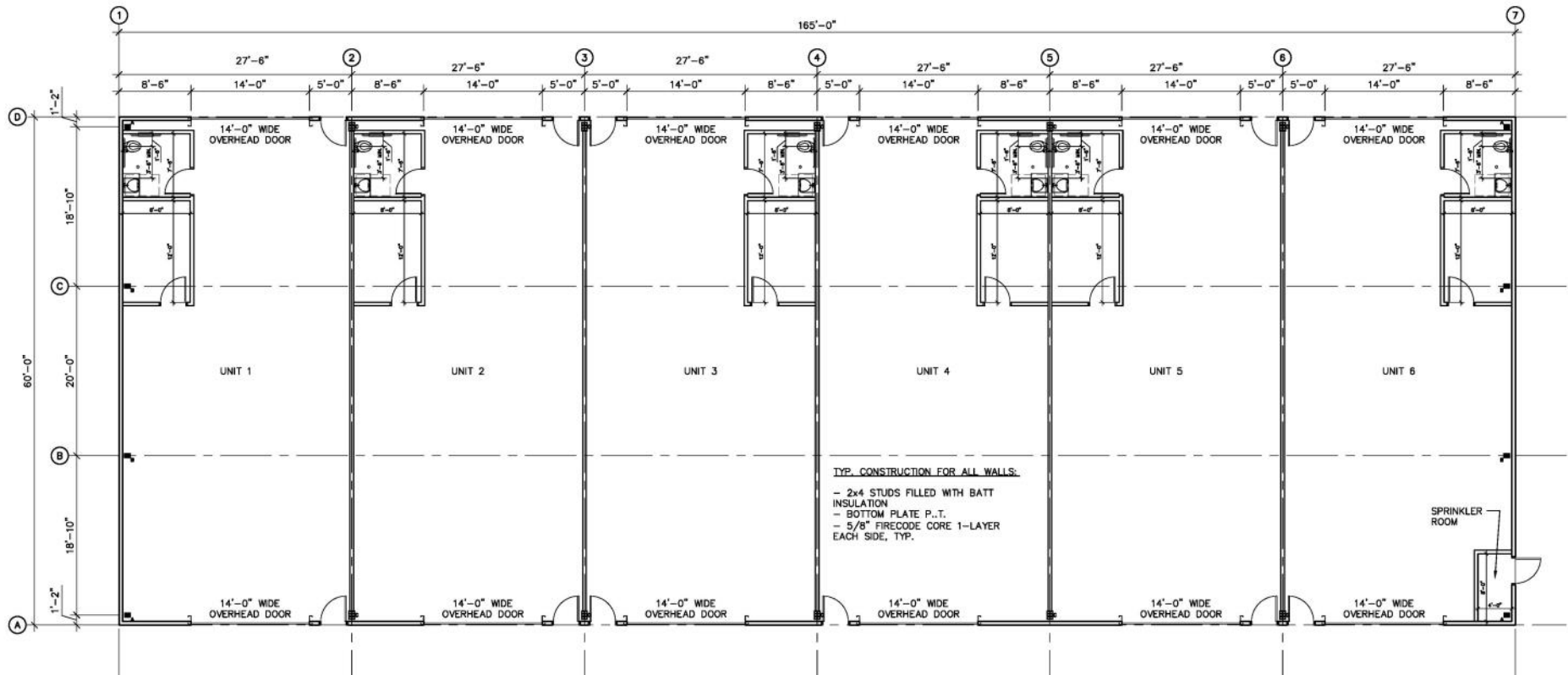
DATE	SEPTEMBER 3, 2019
DRAWN BY	SJE / RT
DESIGN BY	SJE / RT
CHECK BY	DCM
PROJECT NO.	19021



PARKING SITE PLAN
355 WAREHAM STREET
ASSESSOR'S MAP 72, PARCEL 5542
MIDDLEBOROUGH, MASSACHUSETTS
PREPARED FOR EMERALD GROVE

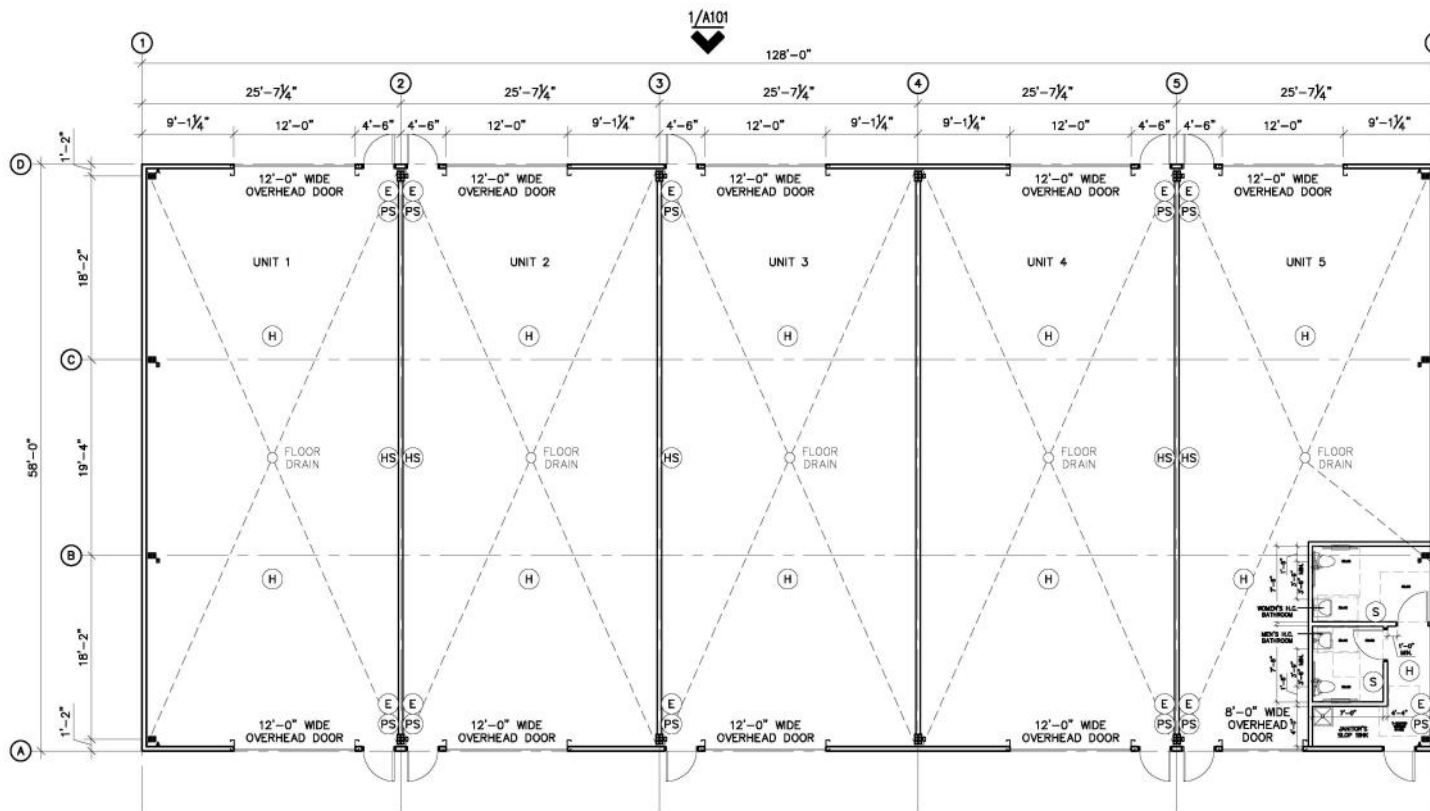
DRAWING TITLE	PARKING SITE PLAN
SCALE	1" = 20'
SHEET NO.	1 OF 1

Site Plan



1 SCALE: 1/8"=1'-0"

Floorplan - 6 Bays



FIRE ALARM LEGEND:

(HS)	HORN STROBE
(S)	STROBE
(E)	EMERGENCY LIGHT
(PS)	PULL STATION
(H)	HEAT SENSOR

TYP. CONSTRUCTION FOR ALL WALLS:

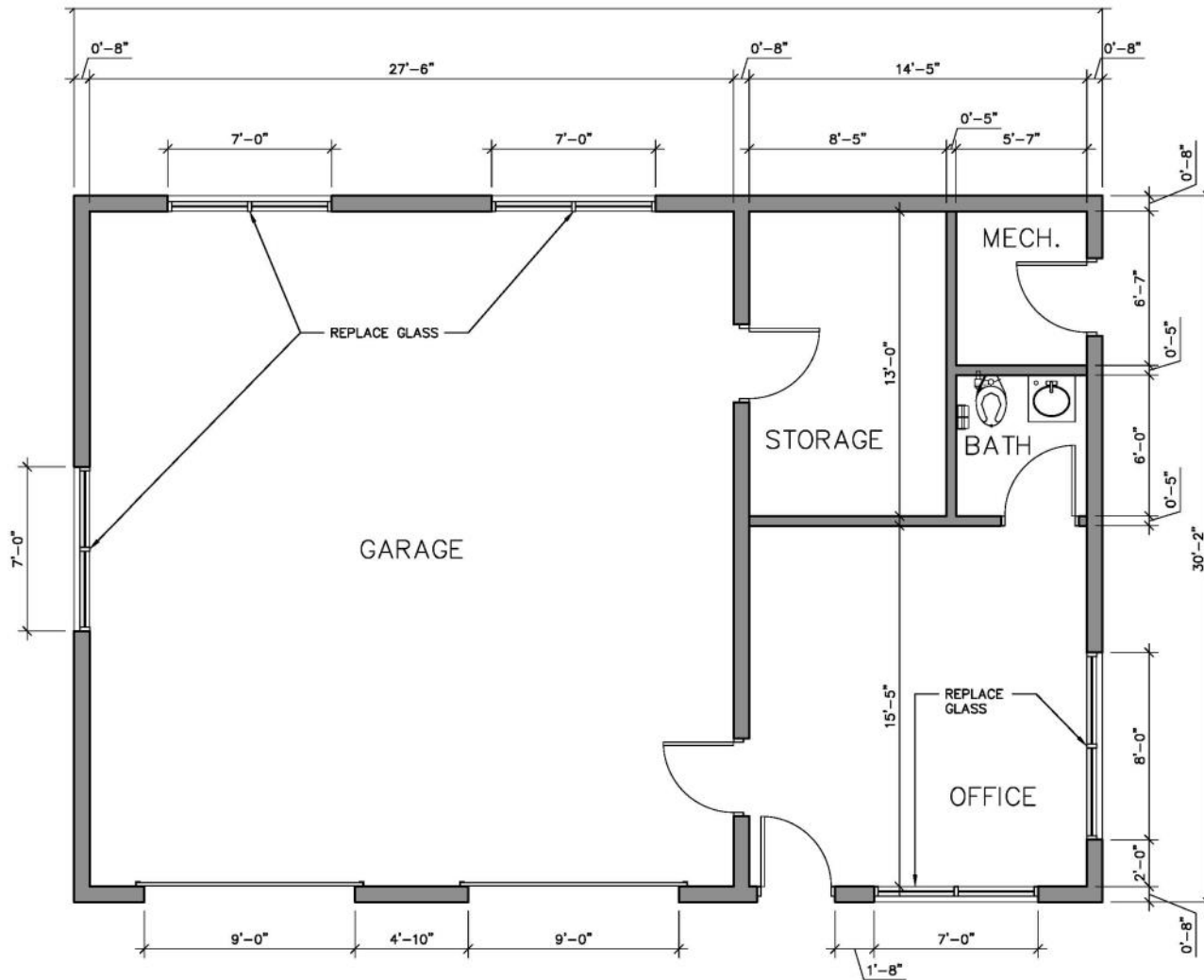
- 2x6 STUDS FILLED WITH BATT INSULATION
- BOTTOM PLATE P.T.
- 5/8" FIRECODE CORE 1-LAYER EACH SIDE, TYP.

PER TABLE 1004.1.2 MAXIMUM FLOOR AREA ALLOWANCES PER OCCUPANT. WAREHOUSE IS EQUAL TO 500 GROSS. 7500 FT.² DIVIDED BY 500 FT.² / PERSON = 15 PEOPLE.

PER 248 CMR TABLE 1: MINIMUM FACILITIES FOR BUILDING OCCUPANCY. PER REQUIREMENTS FOR EMPLOYEE NON-INDUSTRIAL, WE NEED TO PROVIDE ONE TOILET + LAVATORY FOR MEN AND ONE TOILET + LAVATORY FOR WOMEN AS WELL AS ONE SERVICE SINK.

1 SCALE: 1/8"=1'-0"

Floorplan - Rear Building



2 SCALE: 1/4"=1'-0"

Floorplan - Garage



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Assessor



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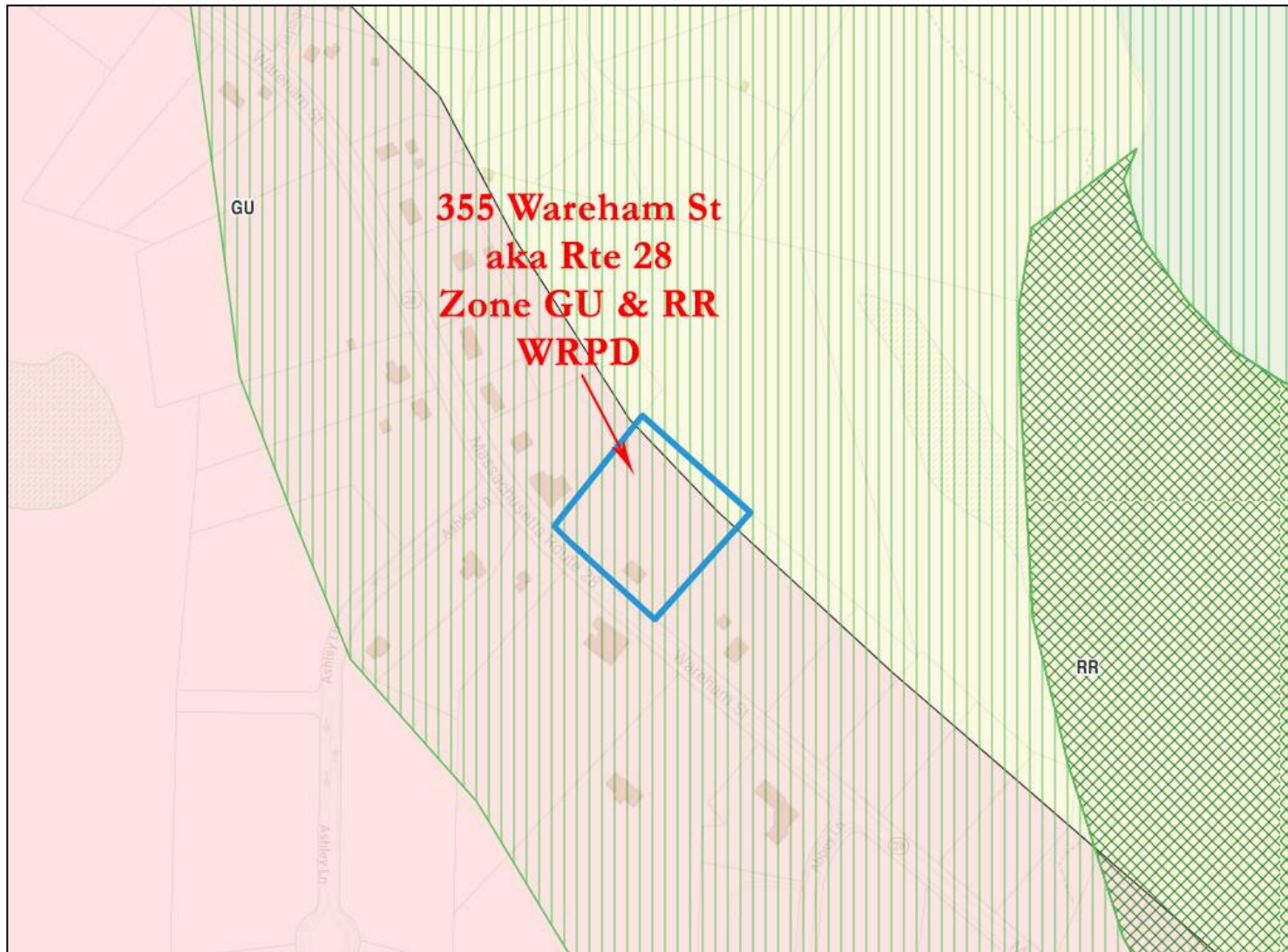
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Zoning



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